



Heritage Statement

Barham Court Farm,
Barham,
Kent,
CT4 6PB

November 2021 | Project Ref 07189A

HCUK Group is a multi-disciplinary environmental practice offering expert advice in archaeology, heritage, landscape, arboriculture, and planning. It began life in 2010 as Heritage Collective LLP, before becoming Heritage Collective UK Limited in 2014. In the coming years diversification saw the addition of Archaeology Collective, Landscape Collective and Planning Collective, before all strands came together to be branded under a single umbrella: HCUK Group, based on the acronym for the original company. A home working company since the beginning, we are pleased to employ a talented workforce of consultants and support staff, who are on hand to advise our clients.



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Contents

1. Introduction	1
2. Relevant Planning Policy Framework.....	7
3. Background and Development	15
4. Statement of Significance.....	23
5. Heritage Impact Assessment.....	42
6. Conclusions	49

Appendices

App. 1 Scale of Harm table (HCUK, 2019)	
App. 2 Assessment - Historic England's Guidance on Setting, (GPA3, 2017)	
App. 3 Proposed Scheme Details	

Figures

Fig. 1 Location Map	
Fig. 2 Satellite view of the Site	
Fig. 3 Map of Barham Conservation Area	
Fig. 4 Heritage Asset Map	
Fig. 5 Inter-war era livestock house / pigsties viewed from the south east	
Fig. 6 Local Plan Proposals Map – Policy HD 1	
Fig. 7 1842 Tithe Map	
Fig. 8 1872-76 OS Map	
Fig. 9 1896-98 OS Map	
Fig. 10 1906-07 OS Map	

- Fig. 11 1937 OS Map**
- Fig. 12 1947 Aerial View from the west**
- Fig. 13 1947 Aerial View from the east**
- Fig. 14 1940 Satellite View**
- Fig. 15 1960 Satellite View**
- Fig. 16 1990 Satellite View**
- Fig. 17 2003 Satellite View**
- Fig. 18 General views of the larger buildings within the Site**
- Fig. 19 Barham Court Farm Barn from the north**
- Fig. 20 Barham Court Farm Barn from the south east**
- Fig. 21 View south from Church Lane towards the old farm Barn and Site**
- Fig. 22 N end of inter-war era livestock range**
- Fig. 23 Church of St John viewed from the east**
- Fig. 24 Farm Cottages, Church Cottage and St John's Church group**
- Fig. 25 St John's Church and Tirril (locally listed) from the west**
- Fig. 26 General view of Barham from the south (including the Site)**
- Fig. 27 Old Well House / Rose Cottage**
- Fig. 28 Barham Court (east elevation) c. 1930**
- Fig. 29 Barham Court from the north**
- Fig. 30 Barham Court, north entrance**
- Fig. 31 Garden wall to north of Barham Court / Anne Court**

1. Introduction

1.1 This Heritage Statement has been prepared by HCUK Group on behalf of the applicant, Roma Homes, in relation to proposed new development at Land at Barham Court Farm, Barham, Kent, CT4 6PB, henceforth referred to as the 'Site'. The proposals are for the demolition of the existing 20th century farm buildings and associated structures and the erection of 22 new houses comprising a mixed residential scheme (Use Class C3) with associated access roads and hard and soft landscaping.

1.2 The location of the Site is identified in **Figures 1 & 2**. The existing buildings proposed for demolition are shaded yellow in **Figure 2**. The determining authority is Canterbury City Council (CCC).



Figure 1: 1:50,000 Ordnance Survey map of the surrounding area with the Site location indicated by the blue star. Source: Historic England (accessed 11/08/2021)

1.3 The Site comprises an extensive and mostly mid-late 20th century farm complex, which remains in agricultural use, and with the more recent Simpsons Wine Estate located to the south. The Site lies wholly within the Barham Conservation Area

(**Figure 3**). The Site, furthermore forms part of the setting of several statutorily listed buildings and one locally listed building (**Figure 4**). The significance of the conservation area and other relevant heritage assets along with any contribution made by the setting is described to a proportionate level of detail in this report, which meets the requirements of paragraph 194 of the NPPF. The level of detail provided is sufficient to understand the potential impact of proposed development on the significance of the identified heritage assets.



Figure 2: Satellite view of the Site (outlined in red). The existing buildings within the Site proposed for demolition are shaded in yellow. Source: Google Maps, accessed 11/08/2021

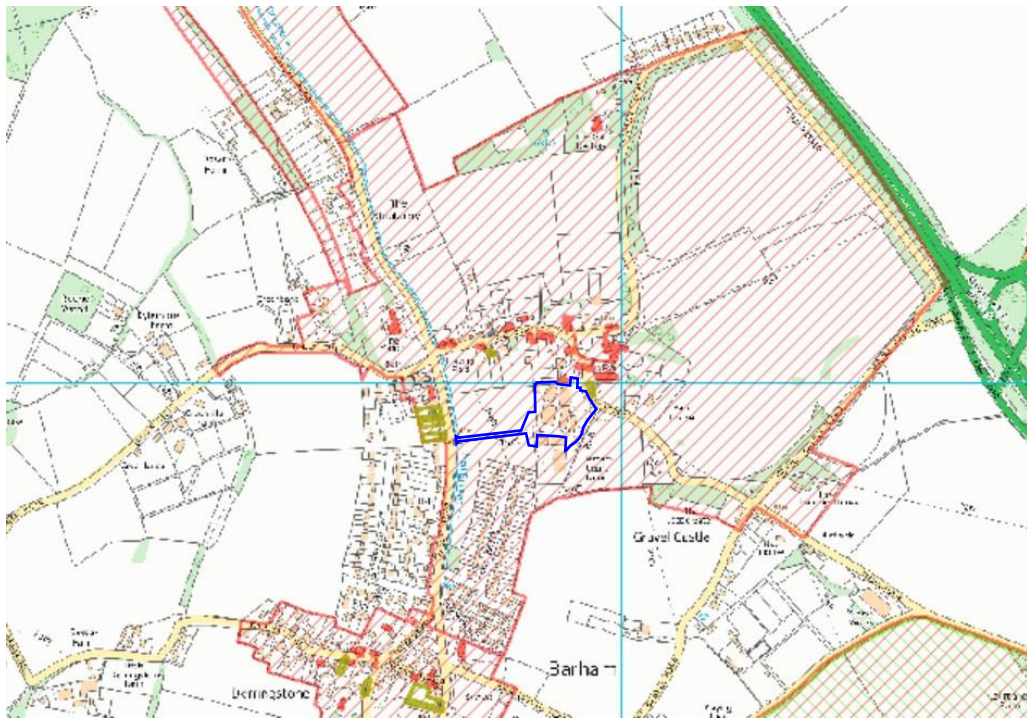
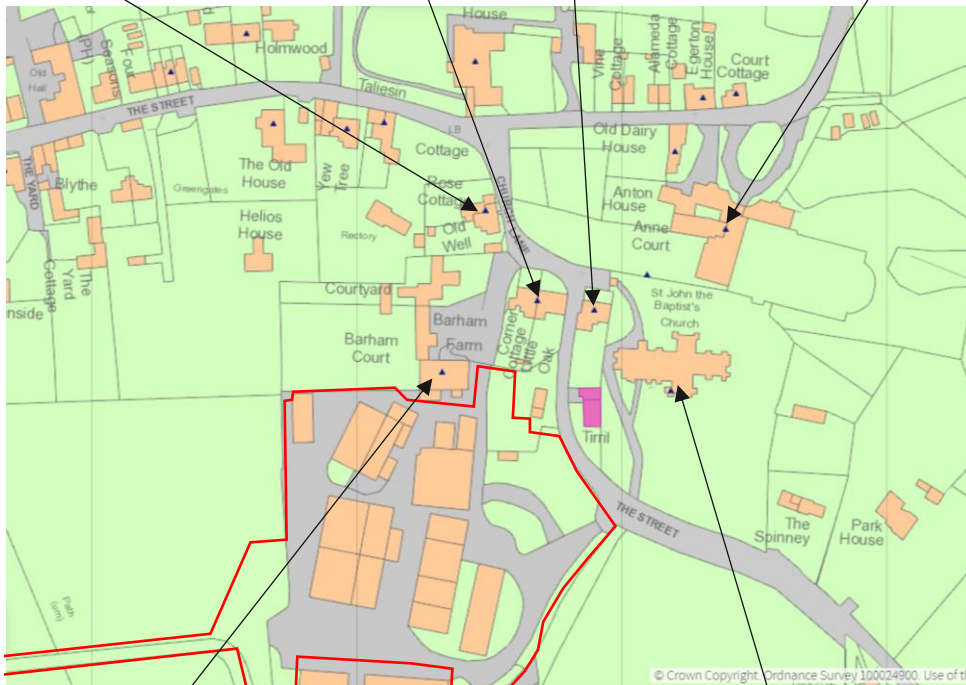


Figure 3: Map of Barham Conservation Area (outlined and hatched in red). The Site is outlined in blue. Source: Canterbury City Council website, accessed 04/08/2021

Rose Cottage / Old Well House (II) Farm Cottages (II) Church Cottage (II) Anne Court / Barham Court (II*)



Barham Court Farm Barn (grade II)

Church of St John the Baptist (grade I)

Figure 4: Heritage Asset Map. Listed buildings are demoted by blue triangles. Relevant statutorily listed buildings included within the assessments of significance and impact contained in this report are labelled. Relevant locally listed buildings are shaded in pink. The Site boundary is indicated by the red line.

- 1.4** Besides the Barham Conservation Area, and listed / locally listed buildings identified on **Figure 4**, there are no other heritage assets in the vicinity of the Site considered to have the potential to be affected by the proposed development as a result of change within their respective settings.

The Context

- 1.5** The buildings within the Site are of very little or no heritage value. The oldest building is an interwar L-shaped range of livestock shelters (including pig sties) which has been re-roofed in green corrugated metal sheeting (**Figure 5**). This is otherwise a traditional agricultural range constructed in hand made orange/red brick and lime mortar. The contribution of the Site to the significance of the conservation area is considered in Section 4.



Figure 5: Inter-war livestock range viewed from the south east

- 1.6** The Site has been allocated for housing under Local Plan Policy HD1 (Local Proposals Map – **Figure 6**). The Site also falls within the Kent Downs AONB and Area of High Landscape Value (Policy LB2).

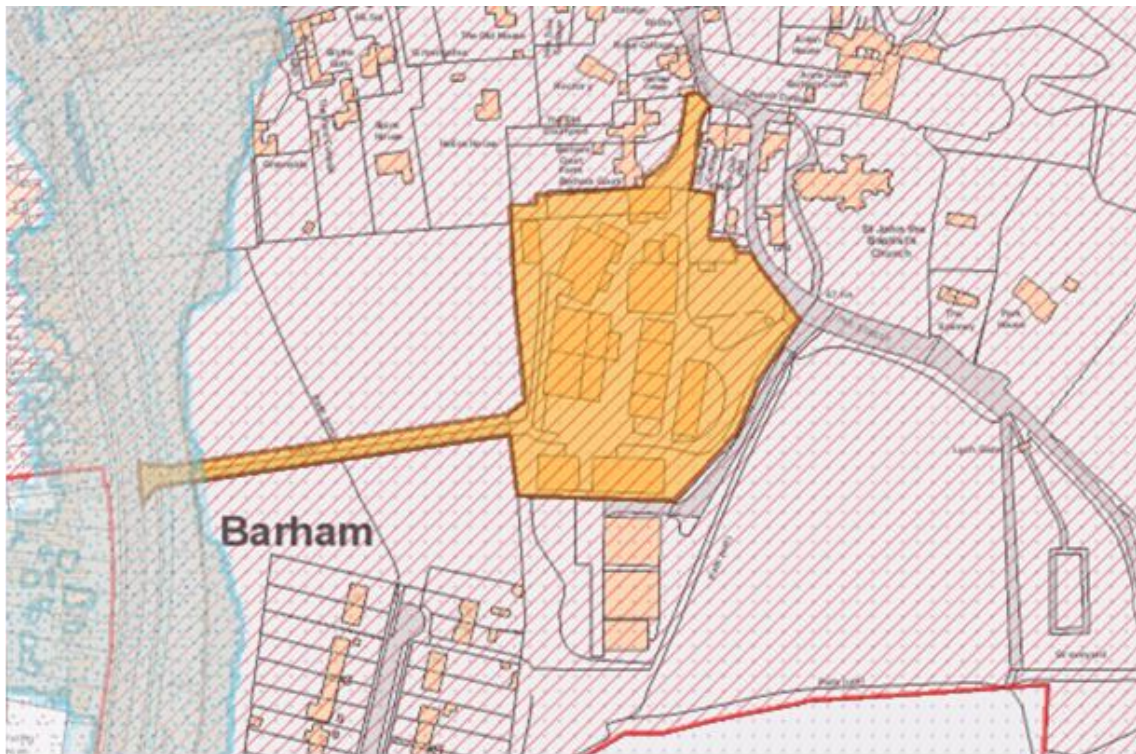


Figure 6: Canterbury City Council, Local Plan Proposals Map 2017, Barham Court Farm (HD1)

Purpose of this Statement

- 1.7** The purpose of this document is to provide sufficient information to allow the Council to understand the effects of proposed development upon the historic built environment in order to gauge their suitability in heritage terms. Value judgements on the significance of the heritage assets affected are presented and the effects of the proposals upon that significance are appraised.
- 1.8** In compliance with paragraph 194 of the National Planning Policy Framework (NPPF - 2021) this heritage statement describes the significance of any heritage assets which have the potential to be affected by the proposed development. It also assesses the capacity of these assets to absorb change.
- 1.9** The heritage assets considered likely to be affected have been observed and assessed by the author following a site visit made in July 2021. The location of the Site relative to these heritage assets is indicated on **Figures 3** and **4**.
- 1.10** The proposed scheme of development has been prepared and assessed in light of the provisions of the Planning (Listed Building and Conservation Areas) Act, 1990.

The report also sets out how the proposal complies with the guidance and policy of the NPPF and local planning policy and guidance.

1.11 The Proposed Development has been amended and refined in light of pre-application engagement with CCC (ref: PRE/21/00304). The Council's response of 4th October 2021 is referenced in the text where relevant.

1.12 An assessment of the below ground archaeological potential of the Site lies outside the scope of this report. The Historic Environment Record has nevertheless been consulted via the Heritage Gateway website and other online datasets and resources have provided background information on the site and surrounding assets, they are referenced within the following text where relevant.

Key Considerations

1.13 The key heritage considerations are whether the proposals would preserve, enhance or harm the significance of affected heritage assets. The preparation of this report has been informed by archival and desk-based research and a site visit.

1.14 This report should be read in conjunction with the full drawn submission and Design and Access Statement prepared by CDP Architecture Ltd.

2. Relevant Planning Policy Framework

Legislation and National Planning Policy

- 2.1** Section 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990 requires the decision maker to have special regard to the desirability of preserving a listed building and its setting when exercising planning functions. The decision maker must give considerable importance and weight to the desirability of preserving the significance of the listed building, and there is a strong presumption against the grant of permission for development that would harm its heritage significance.¹ The presumption will plainly be lessened if the harm is less than substantial within the meaning in the National Planning Policy Framework (NPPF) as is explained further below.
- 2.2** There is a broadly similar duty arising from section 72(1) of the Act in respect of planning decisions relating to development within conservation areas. The meaning and effect of these duties have been considered by the courts in cases since the legislation came into effect, including the Court of Appeal decision in relation to South Oxfordshire DC v SSE & J Donaldson (March 1991, CO/1440/89). The Court found that section 72 requires attention to be directed to the effect on the conservation area as a whole rather than on particular parts of it.
- 2.3** For the purposes of this statement, preservation equates to an absence of harm.² Harm is defined in paragraph 84 of Historic England's Conservation Principles as change which erodes the significance of a heritage asset.³
- 2.4** The significance of a heritage asset is defined in the National Planning Policy Framework (NPPF – July 2021) as being made up of four main constituents: architectural, historical, archaeological and artistic interest. The assessments of heritage significance and impact are normally made with primary reference to the four main elements of significance identified in the NPPF.

¹ Barnwell Manor Wind Energy Limited v East Northamptonshire District Council and others [2014] EWCA Civ 137.

² South Lakeland v SSE [1992] 2 AC 141.

³ Conservation Principles, 2008, paragraph 84.

2.5 Paragraph 197 of the NPPF underlines the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation,⁴ and reiterates the well-established concept that new development can make a positive contribution to local character and distinctiveness.

2.6 Paragraph 195 indicates that all harm should be avoided or minimised and that which remains requires clear and convincing justification (Para 200).

2.7 The setting of a heritage asset can contribute to its significance. Setting is defined in the NPPF as follows:

"The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral."

2.8 The NPPF requires the impact on the significance of designated heritage assets to be considered in terms of either "substantial harm" or "less than substantial harm" as described within paragraphs 201 and 202 of that document. National Planning Practice Guidance (NPPG) makes it clear that substantial harm is a high test, and case law describes substantial harm in terms of an effect that would vitiate or drain away much of the significance of a heritage asset.⁵ The Scale of Harm is tabulated at **Appendix 1**.

2.9 Paragraphs 201 and 202 of the NPPF refer to two different balancing exercises in which harm to significance, if any, is to be balanced with public benefit. Paragraph 18a-020-20190723 of National Planning Practice Guidance (NPPG) online makes it clear that some heritage-specific benefits can be public benefits. Paragraph 18a-018-20190723 of the same NPPG makes it clear that it is important to be explicit about the category of harm (that is, whether paragraph 201 or 202 of the NPPF applies, if at all), and the extent of harm, when dealing with decisions affecting designated heritage assets, as follows:

⁴ *Conservation* (for heritage policy) is defined in Annex 2 of the NPPF as: "The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance."

⁵ *Bedford Borough Council v SSCLG and Nuon UK Limited* [2013] EWHC 4344 (Admin).

"Within each category of harm (which category applies should be explicitly identified), the extent of the harm may vary and should be clearly articulated."

2.10 Paragraphs 199 and 200 of the NPPF state that great weight should be given to the conservation of a designated heritage asset when considering applications that affect its significance, irrespective of how substantial or otherwise that harm might be.

2.11 Paragraph 203 of the NPPF refers to the approach to be taken towards non-designated heritage assets as follows:

"The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset."

2.12 One locally listed building (Tirril) has been identified within the vicinity of the Site that has the potential to be affected as a result of change within its setting.

2.13 According to paragraph 206 local planning authorities should look for opportunities for new development within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

Local Policy

2.14 The Local Plan (adopted in July 2017) sets out plans to develop Canterbury District until 2031. It comprises the development plan to help make planning decisions for the area.

2.15 From the adopted Local plan the following heritage policies are relevant for the purpose of this Heritage Assessment.

- Policy HE1 Historic Environment and Heritage Assets
- Policy HE4 Listed Buildings
- Policy HE6 Conservation Areas

2.16 Policy HE 1 states:

"The City Council will support proposals which protect, conserve and enhance the historic environment and the contribution it makes to local distinctiveness and sense of place. Proposals that make sensitive use of historic assets through regeneration and reuse, particularly where these bring redundant or under-used buildings and areas into an appropriate use, will be encouraged.

Development must conserve and enhance, or reveal, the significance of heritage assets and their settings. Development will not be permitted where it is likely to cause substantial harm to the significance of heritage assets or their setting unless it is necessary to achieve substantial public benefit that would outweigh the harm or loss, or all of the following apply:

the nature of the heritage asset prevents all reasonable uses of the site; and,

no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and,

conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and,

the harm or loss is outweighed by the benefit of bringing the site back into use.

Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

Any development affecting directly, or the setting of, a listed or locally listed building, Conservation Area, Scheduled Monument, registered park or garden, historic landscape, or archaeological site will be required to submit a Heritage Statement with any Planning Application. The statement will need to outline and provide evidence as to the significance of the heritage asset including its setting, the likely impact of the development upon it and be proportional to the importance of the said heritage asset.

Should permission be granted for the removal of part or all of a heritage asset the City Council will not permit the removal or demolition of the heritage asset until it is proven that the approved replacement development will proceed."

2.17 Policy HE 4 reiterates HE1, concerning development affecting the setting of listed buildings and locally listed buildings. This should *"preserve and enhance their character and appearance and the special features for which they are designated. These features can include curtilage buildings, structures, spaces and the landscape setting that are integral to their character and important views within, of, into and out of the area or site. Development that would have an adverse impact on their special historic or architectural interest, or their setting, will not normally be permitted."*

2.18 Policy HE 6 relates to new development within or adjacent to conservation areas. This policy states:

"Development within a conservation area should preserve or enhance its special architectural or historic character or appearance. Development, in or adjoining a conservation area, which would enhance its character, appearance, or setting will normally be permitted. Important features or characteristics, which contribute to its special character and setting, that need to be protected, include; plan form, buildings, architectural features, built form, archaeological sites, materials, trees, streets and spaces and the relationships between these features.

New development in a conservation area should aim to preserve and enhance the character and local distinctiveness of the historic environment and respect its surroundings in terms of height, massing, volume, scale, form, materials, details, roofscape, plot width and the design of any new pedestrian, cycle or vehicular access.

Development within, affecting the setting of, or views into and out of, a conservation area, as shown on the Proposals Map and all Insets, should preserve or enhance all features that contribute positively to the area's character, appearance or setting.

Particular consideration will be given to the following:

- a. *The retention of buildings, groups of buildings, existing street patterns, historic building lines and ground surfaces;*
- b. *Retention of architectural details that contribute to the character or appearance of the area;*
- c. *The impact of the proposal on the townscape, roofscape, skyline, landscape and the relative scale and importance of buildings in the area;*
- d. *The need to protect trees and landscape;*
- e. *The removal of unsightly and negative features; and*
- f. *The need for the development.*

Guidance Documents

National Planning Practice Guidance (NPPG)

2.19 The National Planning Practice Guidance (NPPG; ref: 18a-018-20190723; updated July 2019) provides advice on enhancing and conserving the historic environment in accordance with the NPPF.

2.20 NPPG notes that public benefits can be heritage based for example, works to a listed private dwelling which secure its future as a designated heritage asset could be a public benefit. The guidance goes on to note that examples of heritage based public benefits include:

- Sustaining or enhancing the significance of a heritage asset and the contribution of its setting;
- Reducing or removing risks to a heritage asset; and
- Securing the optimum viable use of a heritage asset in support of its long-term conservation.

Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (March 2015) (GPA 2)

2.21 This document provides advice on numerous ways in which decision making in the historic environment could be undertaken, emphasising that the first step for all applicants is to understand the significance of any affected heritage asset and the contribution of its setting to that significance. In line with the NPPF and PPG, the document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged. The advice suggests a structured, staged approach to the assembly and analysis of relevant information:

- 1) Understand the significance of the affected assets;
- 2) Understand the impact of the proposal on that significance;
- 3) Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
- 4) Look for opportunities to better reveal or enhance significance;
- 5) Justify any harmful impacts in terms of the sustainable development objective of conserving significance balanced with the need for change; and
- 6) Offset negative impacts to significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets (December 2017) (GPA 3 – 2nd Edition)

2.22 Historic England's GPA 3 (2nd Edition) notes that the NPPF makes it clear that the setting of a heritage asset is the surroundings in which it is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral. The guidance notes:

'Setting is not a heritage asset, nor a heritage designation, though land within a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset or to the ability to appreciate that significance.'

2.23 An assessment of the potential effect on the significance of the identified heritage assets by the Proposed Development should be considered using the following steps:

- Step 1: identify which heritage assets and their settings are affected;
- Step 2: Assess the degree to which these settings and views make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;
- Step 3: assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
- Step 4: explore the way to maximise enhancement and avoid or minimise harm;
- Step 5: make and document the decision and monitor outcomes.

2.24 This guidance has been considered when assessing the contribution of setting to the significance of the heritage assets potentially affected by the proposed development on the Site.

2.25 Step 1 of the guidance corresponds to Section 4 of this Heritage Statement. Step 2 is also applied in the section on Heritage Significance (Section 4). Steps 3 and 4 are applied in Sections 5 and 6 (Heritage Impact Assessment and Conclusions) with reference to the table in **Appendix 2**.

3. Background and Development

Historic Development

Barham / Barham Court Farm / the Site

- 3.1** Barham is an ancient settlement of Saxon origin dating back to the 8th century. Its name is derived from *Biora* (*Beora*, being Saxon for chief) and Ham ("settlement" or "homestead"). The existing settlement grew up around the church, dedicated to St John the Baptist. The present building probably replaced an earlier church and dates from the 1200s. The west tower was added in the 14th century and the building as a whole is a fine example of medieval architecture. The church was a Chapel of Ease of Bishopbourne Church (situated half way between Barham and Canterbury) until 1846.
- 3.2** Barham Court Farm lies to the south of the historic farmstead comprising the main cluster of buildings to the west of the Church. The group of buildings holds an elevated position on the eastern slopes of the Nail Bourne Valley.
- 3.3** Since the 17th century Barham Court / Anne Court has formed the focus of the village to the north of the Church with the original Barham Court Farmhouse, now Farm Cottages, comprising the most ancient secular building in Barham.
- 3.4** The pair of farm cottages now known as Corner Cottage and Little Oak Hall, positioned at the entrance to the old farmyard is the original farmhouse associated with the Site and precedes Barham Court (**Figure 23**). It is likely that this house was the original manor house prior to the construction of what is now Anne Court in the 17th century which served as the main residence of the local land owner. In regard to the old Farmhouse the Kent Archaeological Society refer to it as The Old Aisled House in a 2017 article about the building. This states:

"At first glance, the house appears to be a fine example of a Wealden' house of the fifteenth century, but once inside it soon becomes apparent that it is much older than this, and of very great interest, for the back part is aisled, and the roof there supported by posts, as in a barn..."

A detailed study of the framework of this house shows clear evidence that it was built originally as an aisled hall-house, somewhere about the middle of the thirteenth century, and then, two centuries later its front was entirely dismantled, and rebuilt in the improved 'Wealden' style, doubtless to improve both its appearance and its internal lighting.

If the aisled house was built in the middle of the thirteenth century, then it was Gilbert de Barham who at that time was settling estates on himself and his wife, and who died in 1254. Regarding the fifteenth-century alterations, these might have been the work of Richard de Barham, Sheriff of Kent, who was Lord of the manor from 1391."

3.5 **Figures 7 to 17** compare the development of Barham Court Farm and the surrounding village between 1842 and 2003. These indicate that the existing farm buildings at the Site were not built until after the First World War, and most of these date from the late 20th century. Within the old part of the village major changes during this period reflect investment in Barham Court. In 1842, Barham Court and the associated farm and land was owned by George Dering Esq.

3.6 The Barham Court Estate was sold in 1911 to Mr N. E. W. Stainton who added prodigiously and in some style to the main house. Stainton engaged Sir Edwin Lutyens to renovate the old manor house and add a pair of pavilion like wings to the north side to form a grand entrance front as well as formal gardens to the rear.

3.7 Between 1872 and 1937 farming continued to develop with the increasing use of mechanisation including larger tractors and the up scaling of herd numbers. The increasing size and intensity of the farm practices gave way to the need for larger scale buildings. Over the course of this period the use of the early 18th century barn would have changed from being a store for crops to housing small tractors and machinery.

3.8 Over the same period the maps show change to the farm site itself. The western side of the historic farmstead expanded into a C-shape plan through the construction of an adjoining range in the early 20th century. These correspond to the existing low slung buildings north of the barn that were originally used for the keeping of pigs and cattle. Beyond the southern boundary of the early 18th century barn a large L-shaped building was built within the Site between 1907 and 1937

(**Figures 10** and **11**) as the productivity and investment in the infrastructure of the farm increased.

3.9

In the second half of the 20th century new investment focussed on the development of a modern farmyard and facilities commensurate with the larger scale of farming as a result of modern methods employed after 1945. The old farmstead became redundant as an agricultural complex following its sale to Mr L. Groombridge in 1941. A sequence of large sheds proceeded to be built from c.1960 within the Site culminating in what presently exists, growing to its current extent between 1990 and 2003.

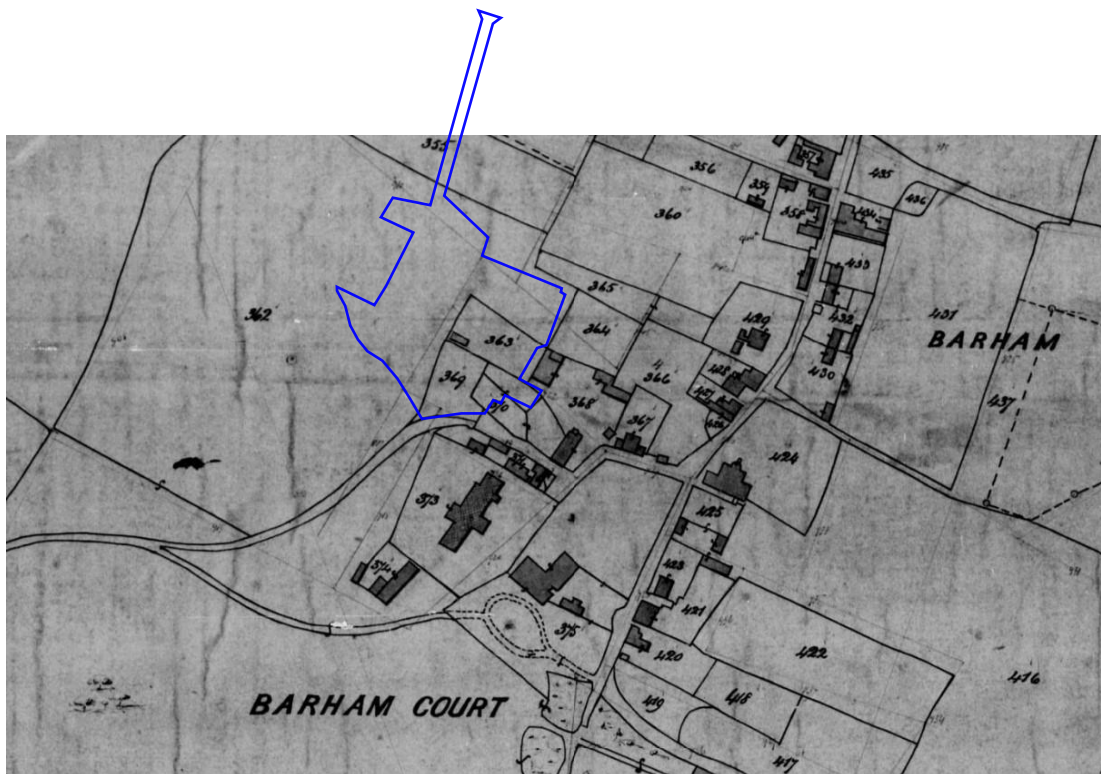


Figure 7: 1842 Tithe Map. Source: *The Genealogist*. The approximate Site boundary is shown in blue.



Figure 8: 1872-76 OS Map. The Approximate Site boundary is shown in blue. Reproduced with the permission of the National Library of Scotland

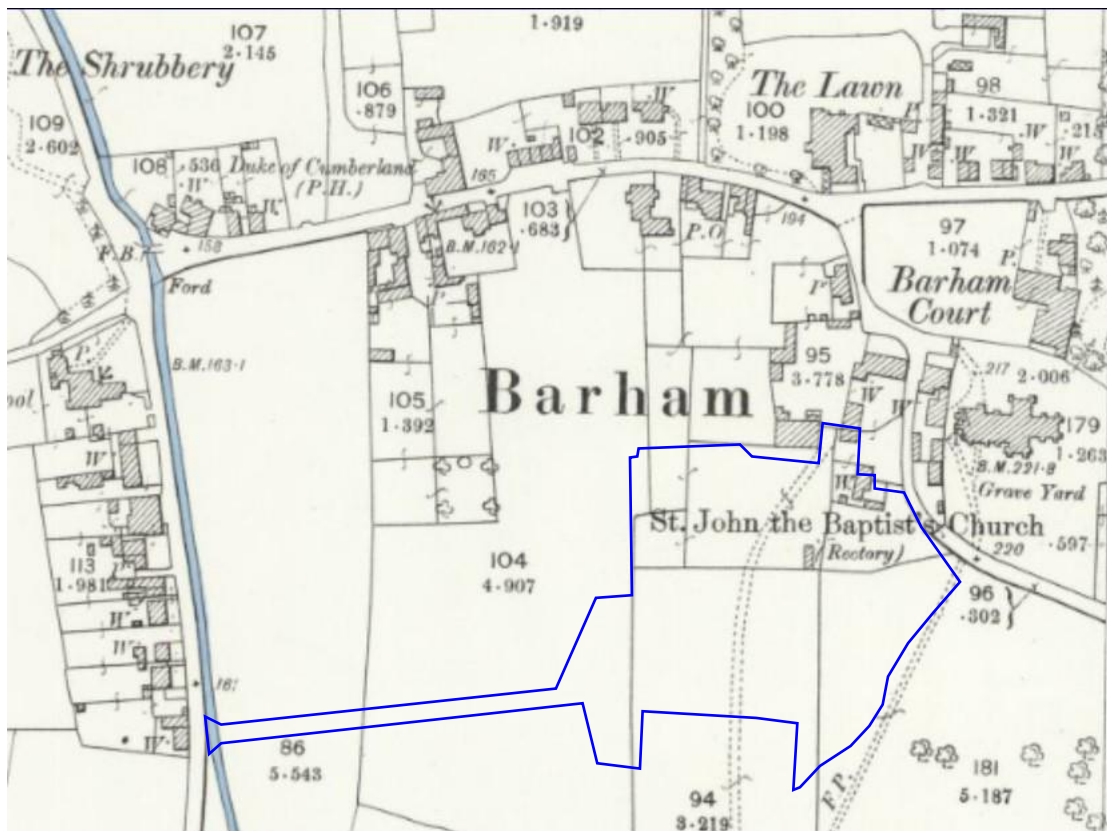


Figure 9: 1896-98 OS Map. Reproduced with the permission of the National Library of Scotland

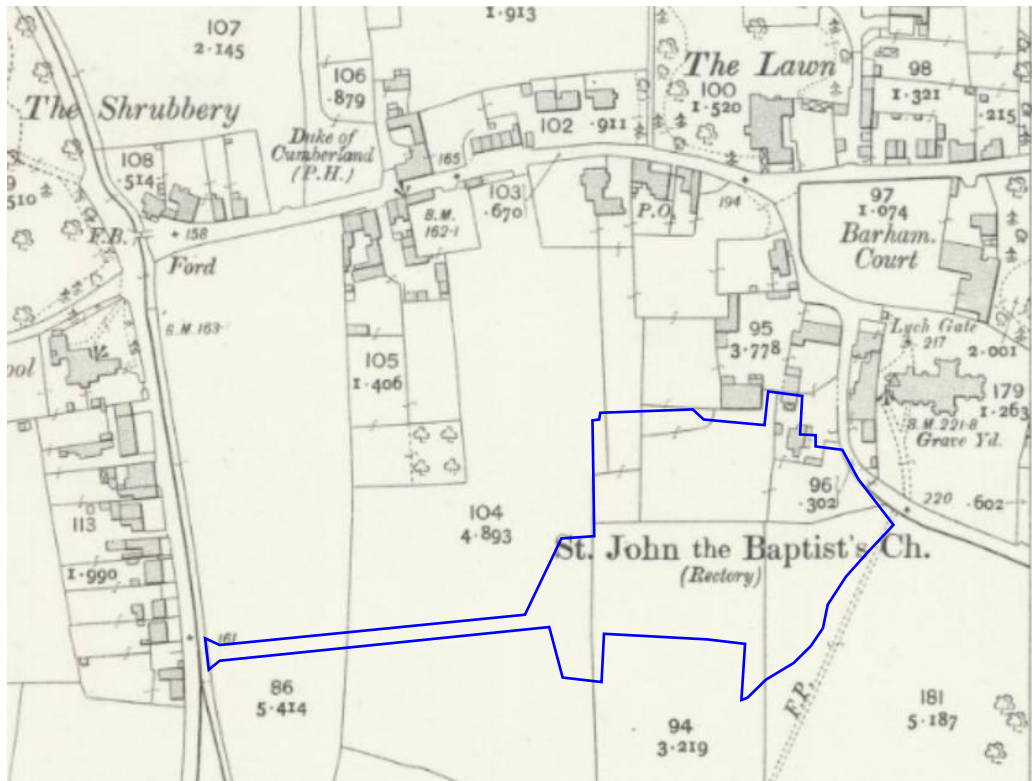


Figure 10: 1906-07 OS Map. Reproduced with the permission of the National Library of Scotland

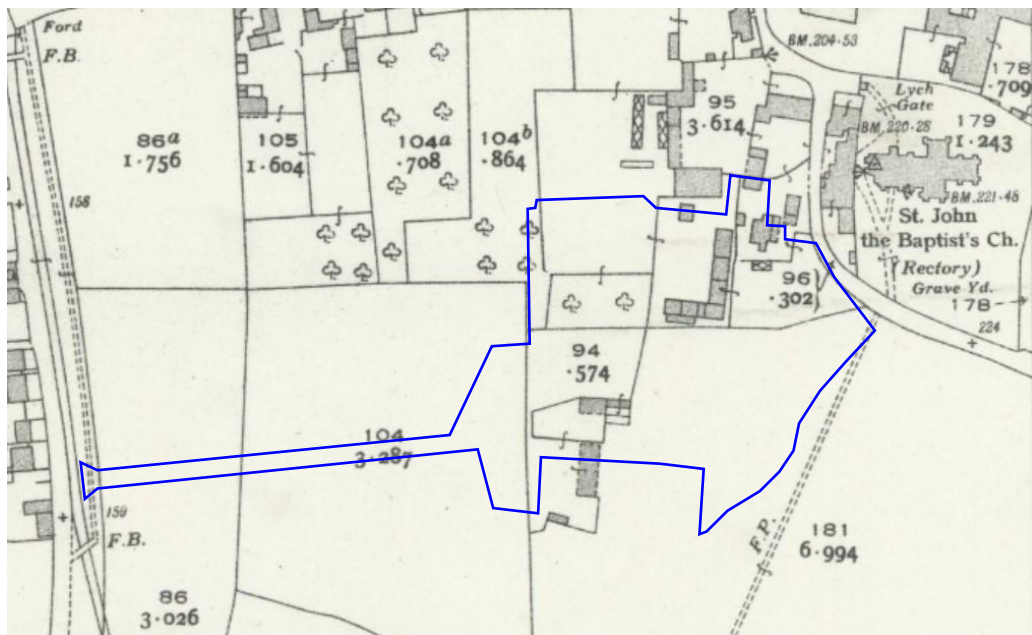


Figure 11: 1937 OS Map. Reproduced with the permission of the National Library of Scotland



Figure 12: 1947 Aerial View of the Site location from the west. Note the L-shaped range to the centre left of the image, built between 1907 and 1937. Source: Britain from Above website.



Figure 13: 1947 Aerial view of Barham from the east. Barham Court / Anne Court is to the lower right of the image. Source: Britain from Above website.



Figure 14: 1940 Satellite View. Source: Google Earth Pro



Figure 15: 1960 Satellite View. Source: Google Earth Pro



Figure 16: 1990 Satellite View. Source: Google Earth Pro



Figure 17: 2003 Satellite View. Source: Google Earth Pro

4. Statement of Significance

- 4.1** The determination of the significance of the relevant heritage assets is based on statutory designation and/or professional judgement against the four headings of 'interest' identified within the NPPF / NPPG: architectural, historical, archaeological, and artistic interest. In addition to its physical presence the significance of a heritage asset can also be derived from its setting.
- 4.2** It is recognised that not all parts of a heritage asset will necessarily be of equal significance. In some cases, certain aspects or elements could accommodate change without affecting the Government's objective, which includes the conservation of heritage assets, and which seeks to ensure that decisions are based on the nature, extent and level of significance of heritage assets.
- 4.3** Change is only considered to be harmful if it erodes an asset's significance. Understanding the significance of any heritage asset affected (paragraph 194 of the NPPF) is therefore fundamental to understanding the scope for and acceptability of change.

The Site

- 4.4** The Site comprises an extensive and mostly mid-late 20th century farm complex and with the more recent Simpsons Wine Estate located to the south. As noted in Section 3, all but one of the buildings date from after the Second World War, and most originated after 1960. The larger buildings are simple portal frame buildings, of steel or reinforced concrete, clad in corrugated asbestos to the walls and roof slopes (**Figure 18**). These have no heritage value and by virtue of their large footprint, bulk and height form a prominent group of visually unattractive structures within the conservation area. The group as a whole adversely affects views from the south into the conservation area and towards the grade I listed Church of St John – see below (and **Figure 26**).
- 4.5** The oldest building within the Site is an interwar L-shaped range of livestock shelters (including pig sties) which has been re-roofed in green corrugated metal sheeting (**Figure 5**). This is otherwise a traditional agricultural range constructed in hand made orange/red brick and lime mortar. The building provides an indication of

the expanding agricultural practice and diversification of Barham Court Farm after the First World War (including into livestock) and is thus of some limited evidential value. However, the building has negligible architectural or historic interest and as a result of alterations and mid 20th century extensions (**Figure 22**) is considered to make a neutral contribution to special interest of the Barham Conservation Area (see below).



Figure 18: General views of the large former agricultural ranges within the Site

- 4.6** The demolition and replacement of the buildings within the site as a whole would alter the character of the land use within this part of the conservation area. However, any erosion of the evidential or historic values associated with the historic agricultural use would be mitigated by a proportionate record of the existing buildings.⁶
- 4.7** The loss of the existing buildings within the Site, furthermore, provides an opportunity to enhance the setting of Barham Court Farm Barn, St John’s Church and the character and appearance of the Barham Conservation Area. The pre-application advice issued by CCC on 4th October 2021 also emphasises the importance of adopting an approach to the design and layout of the new housing (specifically plots 1, 19 and 20) that reflects the historic agricultural use of the Site in the vicinity of the grade II listed barn. This advice has been taken into account in order to develop a suitable design response (see Section 5).

⁶ A suitable record could be secured via condition. In view of the limited heritage interest of the buildings within the Site, an HE Level 1 recording exercise would seem the most appropriate.

Barham Court Farm Barn

4.8 The Barn was added to the National Heritage List for England on 19th February 2001. The official description provides the following details:

"Threshing barn, currently store. Early C18. Some C20 minor additions. Aisled timberframed barn clad in red brick of random bond pattern on deep brick plinth with steeply pitched hipped pegtiled roof with original hipped tiled cart entrance to north side supported on wooden brackets and later gabled weatherboarded cart entrance to south side. Some survival of wooden soffit boards. C20 breezeblock addition to south east is not of special architectural interest. INTERIOR: Three bays with upright posts having typical C18 cut profile to jowls, diagonal windbraces and roof with collar beams and rafters without ridgepiece. Good series of carpenters' marks. West end has inserted C20 floor."

4.9 With reference to the four categories of interest defined by the NPPF, the significance of the Barham Court Farm Barn can be described as follows.



Figure 19: Barham Court Farm Barn viewed from the north with the Site visible to the left.

4.10 Architectural Interest: The barn is a three-bay aisled barn with traditional brick walling under the eaves, nominally English bond. It is a well-preserved example of a Kentish agricultural building type. The local hand-made building materials, characteristic roof coverings and midstrey are all good examples of traditional vernacular architecture in this part of southeast England. These combine to form a pleasing blend of colours, textures, architectural form and detailing. The building's open-plan interior and expansive timber framed structure (which retain the original carpenters' marks) which supports the splendid tent-like hipped roof also contribute to architectural interest.

4.11 The main cart doors and associated midstrey face north into the formal farm courtyard. The midstrey is currently propped up on steel columns adding extra support to the outer edge of the roof, these are clearly later additions and have no historic value. On the southern elevation a modern "cart entrance" has been formed in an improvised manner and is not an original feature (**Figure 20**). It was added between 1960 and 1990 (*cf.* **Figures 15** and **16**). Prior to this addition the southern roof was completely unbroken.

4.12 Further modern additions have been added to the south elevation of the barn to provide office space for the farm. These are formed in modern blockwork and covered with asbestos roofing sheets and have a noticeably detrimental effect on the building's architectural interest.



Figure 20: View of Barham Court Farm Barn from the south east (the Site).

- 4.13 Historical Interest:** The building's historical value derives from its distinctive typology as a functional agricultural building specific to this part of England and its origins as part of the estate / manorial land holding associated with Barham Court since before its erection c. 1700. The building's early 18th century date evidences the careful management of the sizeable agricultural holding of Barham Court to safely store harvested crops. As such, besides the building's historical value, it is also of high evidential value.
- 4.14 Archaeological Interest:** The building's above ground archaeological interest derives from the primary built fabric and what survives of the plan form of the original barn and associated features, such as the centrally positioned midstrey on the north side.
- 4.15 Artistic Interest:** The inherent craftsmanship of the original construction has some limited artistic interest (*cf.* carpenters' marks).

Setting and Contribution to Significance

4.16 The building's immediate setting to the south has altered significantly during the mid-late 20th century. The adjoining blockwork structures associated with the modern farmyard, swathe of hardstanding and series of makeshift modern farm buildings belonging to the now defunct farm complex to the south all comprise negative elements of the setting. These adversely impact its significance and an ability to appreciate this in views from within the Site (**Figure 20**).

4.17 The setting to the north side, notwithstanding the slight negative impact of the Site (**Figure 21**), remains well preserved and contributes notably to an appreciation of the barn and its historic role within the original farmstead associated with Barham Court.



Figure 21: View south from Church Lane towards Barham Court Farm Barn and the Site.



Figure 22: View of the north end of the L-shaped range to the south of Barham Court Farm.

4.18 The L-shaped livestock range within the Site (**Figure 22**) has been heavily altered and is not considered to form a positive element of the building's setting and does not contribute in any way to its heritage interest.

4.19 The removal of the mid-late 20th century farm complex and associated hard standings to the south of the listed building, to be replaced with more modestly scaled and architecturally sympathetic development accompanied by well designed hard and soft landscaping, has the potential to enhance the setting of the heritage asset.

Other listed buildings

Church of St John the Baptist, Anne Court / Barham Court, Farm Cottages, Church Cottage, Old Well House / Rose Cottage and the garden wall of Barham Court and Anne Court

4.20 These buildings form the core of heritage interest in this part of the village of Barham, including the two key listed buildings; the Church of St John the Baptist

and Anne Court / Barham Court (**Figure 23**). The large, cruciform Church of St John is of singular importance in the local area and a high quality example of Middle-Pointed gothic church design, for which Kent is renowned.



Figure 23: Church of St John from the east with Anne Court / Barham Court to the right



Figure 24: View of Farm Cottage (right), Church Cottage (centre) and St John's Church (behind)



Figure 25: St. John's Church from the west with Tirril (locally listed) in the foreground

- 4.21** The Church is the centre-piece of the village and its copper clad splayed foot spire is seen in conjunction with most of the other listed buildings, forming a group of considerable aesthetic value and historic interest (**Figures 24** and **25**). The broad, spreading form of the church is a dominant feature both within the village and in views towards Barham from the south (**Figure 26**)
- 4.22** After the Church the oldest of the buildings is Farm Cottages, the original Barham Court Farmhouse (**Figure 24**). The building's varied and intriguing chronology is recounted in Section 3 (paragraph 3.4). The look of a Wealden House is somewhat disguised by the curious use of tile hanging. These are hung in regular courses and painted white on the north side to resemble weatherboarding.



Figure 26: View of Barham from the south, with the Site and associated 20th century farm buildings visible to the left



Figure 27: Old Well House / Rose Cottage from the south east

4.23 Church Cottage is 18th century and of red brick. Its proximity to the Church and The Street gives it a prominence in the village and an important townscape role in conjunction with Farm Cottages (**Figure 24**) and Old Well House / Rose Cottage (**Figure 27**). These buildings can be appreciated from a variety of angles from Church Lane as it zig-zags its way through the village.

4.24 Anne Court / Barham Court is an important multi-phase high status residence, the earliest part of which (Anne Court) dates from the mid 17th century. The most architecturally impressive part is the early 18th century east elevation (**Figure 28**), but the early 20th century pavilions added to the north side by Sir Edwin Lutyens in 1911 are in their own way equally impressive. These create a concave entrance front to The Street approached via a ramped driveway loop, which encloses a raised oval planter (**Figure 29**). The curved quadrant walls and monumental doorway to the centre are one of Lutyens most idiosyncratic designs (**Figure 30**). The house retains a good 18th century staircase and several impressive interiors, including work by Lutyens.

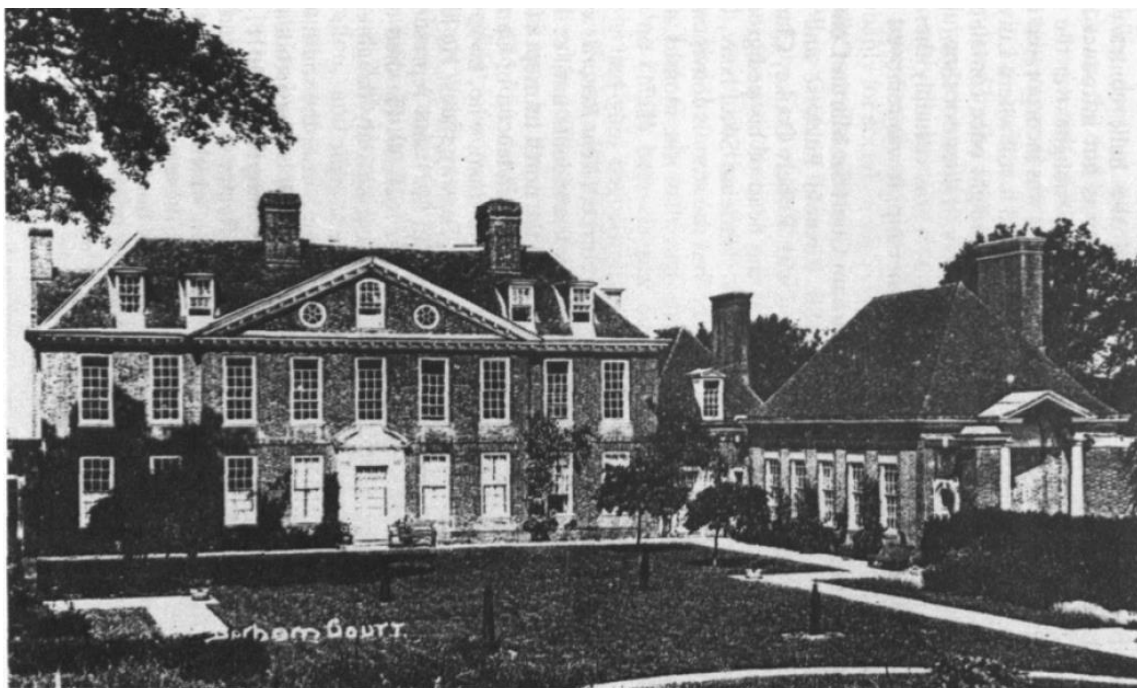


Figure 28: Barham Court – east elevation photographed c. 1930. Source: Barham Court: History and Development, Philip H Blake (1989)



Figure 29: Barham Court viewed from the north



Figure 30: Lutyens' north entrance to Barham Court (1911)

4.25 Barham Court retains a substantial walled garden complex to the north side of the house. This forms an important feature in the centre of the village and encloses The Street to the east as well as the north side of the churchyard (**Figure 31**). This is an important early 18th century structure of knapped flint mixed with handmade brick. The latter forms a broad central band as well as buttresses and copings.



Figure 31: Garden wall to the north of Barham Court with Rose Cottage / Old Well House to the left

Significance

4.26 The architectural interest of this group derives from the bespoke design and incremental development of each of the buildings, which ranges from an important example of medieval ecclesiastical architecture, to local vernacular timber framed and traditional solid wall construction and outstanding higher status domestic architecture. Each building is of special interest in its own right. St John's Church is of the highest importance (grade I) and Anne Court / Barham Court is of more than special interest (grade II*) but significance also derives from the eclectic character of the group and their illustrative historical value as it relates to the incremental

development of Barham between the 13th and 20th centuries. This is also of notable evidential value.

4.27 The artistic interest of the church and Anne Court is notable, in relation to architectural sculpture (decorated windows and stained glass) as well as internal joinery, skilled carpentry and other decorative elements. The inherent craftsmanship of the original construction and house design is also of some artistic interest.

4.28 The below ground archaeological potential of the listed buildings lies outside the scope of this report.

Setting and contribution of the Site to Significance

4.29 The individual setting of these buildings comprises their own domestic curtilage / churchyard and the adjacent public highway of Church Lane / The Street, as well as the open fields to the south. The latter forms an apron on this side of the village allowing important landscape related views towards St. Johns Church and other elements of the listed group (**Figure 26**).

4.30 The Site forms a peripheral element in these views and in its current form does not contribute positively to the setting of the church and related group. This is due to the scale and character of built form and harsh appearance of the boundary treatment (dense *Leylandii* hedging). The glimpsed views towards the Site from Church Lane to the north are largely screened by mature broadleaf trees. The existing buildings are not prominent or of notably adverse appearance from this part of the setting, which is common to all of the listed buildings identified to varying degrees. The trees within the north part of the Site, however, contribute positively to the setting and the character and appearance of the conservation area (see below).

4.31 The setting is an important element of the group value of the listed buildings and the primary means by which their significance is appreciated and understood by members of the public. As noted above, the elements of the Site which are visible from Church Lane include positive elements of setting by virtue of the mature tree cover and general sense in which it provides a 'green edge' to the historic core of the village. In tension with this are views from the southern part of Church Lane

and the field to the south, wherein the poor appearance and general visual impact of the Site is an evident detractor to the scene. The current situation gives rise to an opportunity to enhance the setting of these listed buildings, both individually and as a group.

- 4.32** The removal of the existing buildings within the Site and their replacement with traditionally scaled and sympathetically detailed residential development has the potential to yield an appreciable enhancement of the wider setting of St John's Church and the other listed buildings described above.

Barham Conservation Area

Character and Appearance / Setting

- 4.33** The Barham Conservation Area was first designated in July 1971 and extended to the north and south in December 1991. The conservation area covers the whole of the historic settlement and the ribbon development which follows the course of Nail Bourne river to the west as well as the fields adjoining to the north, east and immediately south of the village. The historic development and background to the village is summarised in Section 3 above.
- 4.34** The conservation area (**Figure 3**) has a distinct rural setting and is bounded on all sides by agricultural fields or the continuation of historic development to the north (Out Elmstead) and south (Derringstone) with separate conservation areas covering those historic settlements also.⁷ Apart from the southern-central part of the conservation area where the Site introduces larger scale buildings of a modern, agricultural-subsistence character (including the Simpsons Wine Estate to the south), Barham retains the ambience of a well preserved picture postcard Kent village. The extensive areas of hardstanding within the Site, although typical of a modern farmyard, clash with the conservation area as a whole and the cultivated fields fringed by mature broadleaf trees that create a largely unspoilt landscape setting to the village.
- 4.35** The core of the conservation area comprises the jaunty zig-zag course of The Street / Church Lane as well as Rectory Lane which runs to the north of Barham Court.

⁷ The course of the old Elham Valley Railway is also a conservation area, as is much of this part of the Nail Bourne Valley, notably to the north of Barham.

The majority of designated heritage assets within the conservation area are to be found here. To the west, the main highway (Valley Road) runs north-south alongside the Nail Bourne brook. The Street forms a crossroads with Valley Road and a lane named Green Hills continues west out of the conservation area to ascend the west side of the valley. The conservation area includes historic buildings of outstanding heritage interest (see above) and range in date from 13th century to late 19th century with some discreet 20th century in-fill housing (e.g., Helios House and a mock Wealden House to the west of it). The individual and group interest of the listed buildings is the mainstay of the conservation area's architectural interest. The buildings exhibit a broad array of local building materials and traditions. These include numerous examples of timber framed construction, local hand made brick and roof tiling, renaissance inspired classical design which incorporates the highest quality brickwork (Barham Court), painted lime render or stucco, knapped flint, nodular flint, tile hanging, timber weatherboarding and examples of hardwood joinery with associated ironmongery.

- 4.36** The sinuous course of The Street / Church Lane creates plenty of visual interest and gives rise to picturesque views within the village and the opportunity to see many of the listed buildings from different angles. The historic street pattern is furthermore an aspect of historic interest within the conservation area.

Significance

- 4.37** The significance of the heritage asset is derived from the character and appearance of built form indicative of the historic origins of Barham. The historic street layout contributes to this, notably the sinuous course of The Street / Church Lane and lanes branching off into the surrounding countryside. Modern development has largely occurred along Valley Road as well as within the Site and to the south of it (The Grove).
- 4.38** **Architectural interest:** The architectural interest of the conservation area is concentrated along Church Lane and Rectory Lane. The buildings here form a recognisable and important group, which is both stylistically diverse and yet cohesive, comprising an eclectic mix of medieval through to late 19th century houses. St John's Church forms the focal point of the village and its substantial size and prominence, by virtue of its copper clad spire, make it an important landmark

from most parts of the village and within the surrounding area, including views along and into the valley from the surrounding hills and higher ground.

- 4.39** Farm Cottages and Barham Court Farm Barn are notable examples of distinctive agricultural building types (the former converted to residential use as a Wealden type House in the 15th century) among otherwise purpose-built residences, the most important of which are Barham Court / Anne Court, Barham House, Court Cottage and The Old House.
- 4.40** Another group of listed buildings is at the junction of The Street with Valley Road, which include the Old Bakehouse and Little Manor.
- 4.41** The important views within the conservation area are along The Street / Church Lane, or towards the historic core of the village from the Nail Bourne Valley and particularly from the fields to the south of Barham. The views from street corners and junctions allow an appreciation of the picturesque informality of the village's gradual development, which can be clearly seen and understood. Several of these views are of high aesthetic value and contribute positively to the setting and significance of the listed buildings and their collective group value.
- 4.42** Views along The Street and Church Lane are dynamic in nature, responding to the tightly enclosed zig-zagging course of the street. The width of the thoroughfare, and the character of the buildings upon it, clearly indicate the age of the street and its definition of the village as a whole.
- 4.43** **Historical interest:** Illustrative historic interest is seen in the development of the village over time. From the early medieval road layout, important church and elements of contemporary house building, 17th and 18th century houses of both high and low status and agricultural buildings and housing associated with the Barham Court estate. The whole provides an interesting example of continuous settlement in the area, evolving gradually over a long period of time to create the semblance of a country village which includes the important 18th century manorial residence at Barham Court.
- 4.44** **Artistic interest:** St John's Church and Anne Court / Barham Court exhibit a high level of artistic interest, as well as design interest (see above). Several of the other historic houses no doubt retain details of artistic interest internally such as carved panelling and other ornamentation that is of high aesthetic value. The inherent

craftsmanship of the primary building fabric to many of the listed buildings also has a degree of artistic interest.

- 4.45** **Archaeological interest:** The conservation area does not lie within an area of archaeological importance. The village and surrounding area, however, are considered to be of High Landscape Value (LB2) and form part of the Kent Downs AONB (LB1). The below ground archaeological potential of the Site and conservation area as a whole, however, lies outside the scope of this report.

Contribution of the Site to Significance

- 4.46** The Site as a whole does not contribute positively to the special character and appearance of the heritage asset owing to the mid-late 20th century character of the farm buildings, all of which are modern, and several of which are very large and overbearing in character. The Council has indicated in their pre-application advice, that the buildings within the Site reflects the former agricultural use and connection with the wider agricultural landscape and response to evolving agricultural practices. While this is of some historic interest (dating from the inter-war and post war 20th century period), the Site as a whole does not reinforce the significance of the conservation area in any meaningful way. A record of the existing buildings, as well as a suitably agile design response that reflects the agricultural character of the surviving grade II listed building, would help to maintain an appreciation of the Site's evolution and connection with the wider agricultural landscape.
- 4.47** Alongside the general character of the village as a whole (all of which falls within the conservation area) the incongruous appearance of the Site and its unsympathetic boundary treatment to the east side represent notable opportunities to enhance the heritage asset in line with paragraph 197 of the NPPF and the statutory duty under Section 72(1) of the Act.
- 4.48** The former farm buildings and sheds have a temporary appearance, characterised by corrugated asbestos sheet cladding. Consequently, the Site as a whole has a largely negative effect on views of St John's Church and towards the conservation area from the south / approach via Church Lane and thus detract from the special character and appearance of the heritage asset.

4.49 The listed barn at Barham Court Farm is a key building within the conservation area and, as noted above, is also negatively affected by the appearance and condition of the Site. The Site's redevelopment for new housing also has the potential to enhance the setting of this listed building, whilst preserving the setting of the other listed buildings considered in this section along with the locally listed building named Tirril (**Figure 25**).

Summary of Built Heritage Considerations

4.50 Having undertaken steps 1 and 2 of the GPA 3 assessment, it is evident that the proposed development will directly affect the setting of Barham Court Farm Barn and St John's Church with some potential to affect the setting and significance of Farm Cottages, Church Cottage, Anne Court / Barham Court (and garden wall), Old Well House / Rose Cottage and the locally listed building known as Tirril. The Barham Conservation Area would be directly affected as the Site lies wholly within the area based heritage asset. What effect there is will result from the adjustment in the built character of the Site and introduction of new built form within the undeveloped areas of the Site to the west of Church Lane / The Street.

4.51 The effect of the proposals on heritage significance is assessed to a proportionate level of detail in Section 5.

5. Heritage Impact Assessment

5.1 This chapter of the report assesses the impact of the Proposed Development on the significance of the heritage assets identified in the previous chapter, including effects on the setting of those assets. It equates to Step 3 of GPA3, which has a close connection with Step 2. This chapter should be read in conjunction with the preceding chapter, and the tabular GPA3 assessment in **Appendix 2**.

Summary of the Proposals

5.2 The proposed development comprises the demolition of the existing farm buildings and associated structures and the erection of a 22-unit mixed residential scheme (Use Class C3) with associated access roads, landscaping, and curtilage structures (garages, boundary walls and fences). The scheme is illustrated in **Appendix 3**.

5.3 A full description and rationale for the design is provided in the accompanying Design and Access Statement prepared by CDP Architecture Limited.

5.4 The proposed scheme has been developed in light of pre-application advice from CCC to ensure that the scale and extent of development is commensurate with the sensitivities of nearby heritage assets and the Barham Conservation Area in which it is situated. The design and layout of new housing, in particular plots 19, 20 and 21, reflects the former agricultural use of the Site and responds intelligently to Court Farm Barn to enhance its setting. Plots 20 and 21 adopt various design traits and material detailing derived from the listed building itself. These include the organisation of the hipped roof, hipped projecting bays and cat-slide roof with open porches. This treatment also eloquently reflects the agricultural character of the Site. These new houses will provide sympathetic neighbours for the listed building to be read in harmony with the vernacular style of the retained historic barn.

5.5 Plot 1 will appear prominently from the Street and the design provides a measured response to the domestic Georgian character of the locally listed building 'Tirril', located obliquely on the opposite side of the public highway.

5.6 More generally the proposed development has been oriented and designed to have a positive effect on the built character and appearance of this part of the Barham

Conservation Area and the setting of nearby listed buildings. The effect on undeveloped areas of the Site will be minimised by modestly scaled new houses, and through the use of traditional material finishes (warm toned brick, weatherboarding, tile hanging, render and plain tile and slate covered roofs). These materials combine high quality architectural design with robustly detailed elevational treatment.

- 5.7** The replacement of the existing farm buildings and associated infrastructure with new housing of reduced scale and prominence would furthermore ensure that views from the south towards St John's Church and into the Site from The Street and Valley Road are appreciably enhanced. The scale and density of proposed housing is commensurate with the village of Barham as a whole and features a combination of traditional house types and forms (two / two and a half storeys with double pitched roofs). The layout is informal but has been carefully arranged to minimise any effect on long range views of Barham from the South and its distinctive landscape character and setting. Thus the large unbroken massing of the existing buildings would give way to much smaller and carefully differentiated forms. The new housing is characterised by a range of colours, textures and subtle variation, interspersed with new planting.
- 5.8** Views from within the conservation area from The Street / Church Lane, St John's Churchyard and the fields adjacent to the east and west would be either preserved or much enhanced as a result of the removal of large-scale farm buildings and improved boundary treatments.
- 5.9** A record of the existing buildings would serve to mitigate the loss of any evidential value associated with the Site's historic agricultural use, and maintain an appreciation of the Site's evolution and connection with the wider agricultural landscape.

Assessment of Impact

5.10 With reference to **Appendix 1**, along with the most important considerations relating to the impact of the proposals on the setting of the heritage assets discussed within this Statement (which include, location and siting, form and appearance, effects and permanence⁸), value-based judgements on the impact of the proposals on significance have been set out below.

Effect on Barham Conservation Area

5.11 Architectural interest: The proposed development will preserve the architectural interest of Barham Conservation Area, with the new housing and associated landscaping contributing new and visually attractive buildings and boundary features that are expressed in sympathetic materials. As noted in Section 2 above, paragraph 197 of the NPPF re-asserts the established concept that new development can make a positive contribution to local character and distinctiveness.

5.12 In terms of massing, the proposed development would be less prominent than the existing buildings with respect to views from Church Lane / The Street, Valley Road and the public footpath adjacent to the west of the cemetery. The setting of St John's Church, Barham Court Farm Barn and associated group would be notably enhanced by the renewed boundary treatment, replacement of hard-standings and introduction of carefully modulated new built form within the Site. As illustrated within the Sections provided in **Appendix 3**, the development introduces carefully differentiated houses, distinguished by a range of colours, textures and subtle variation. The houses are also interspersed with new planting in contrast to the existing buildings which rise slab like above the hard boundary edge formed by leylandii hedging on the east side of the Site. This negative aspect of the Site is prominent in views from the south and The Street / Church Lane, as well as the southern part of St John's Churchyard.

5.13 In relation to longer range views of the conservation area from the south, the Proposed Development would greatly enhance views towards St John's Church. Views from the churchyard looking outwards across the open fields in which the

⁸ Historic England's guidance on setting GPA3

Site forms an important framing element would also be enhanced for the reasons set out in paragraph 5.12. Accordingly, the effect on the conservation area as a result of any impact on these views would be moderate to major and also beneficial.

5.14 On the basis of drawn sections of the proposed scheme it is considered that views of, towards or from the listed buildings described in Section 4 would be preserved, i.e., not harmed, but also enhanced in respect to the St John's Church / Barham Court / Anne Court group (**Figures 23** and **26**) as well as Barham Court Farm (*cf.* **Figure 21**). The effect on the setting of St John's Church and Barham Court Farm Barn is considered in more detail below and with reference to the tabular GPA3 assessment in **Appendix 2**.

5.15 The proposed development has been designed to respond to the existing context, which is of high sensitivity, with high quality design and is appropriate in terms of mass, scale, material and architectural style for the area. The new housing will furthermore provide a high standard of residential accommodation that will contribute towards the local housing supply and is therefore of appreciable public benefit.

5.16 Historical interest: There will be no change to this element of interest as a result of the proposed development. The retained elements of the setting of listed buildings in the form of mature, high value trees within the Site will maintain those positive elements which the Site contributes to the character and appearance of the conservation area. The introduction of both modern and more traditional residential design and use of traditional materials will contribute to an appreciation of the continual development of the area since the early medieval period.

5.17 A Level 1 recording of the existing buildings would serve to mitigate the erosion of any evidential value associated with the Site's historic agricultural use, and maintain an appreciation of the Site's evolution and connection with the wider agricultural landscape. The latter characteristic would also be reinforced by the bespoke design approach adopted in relation to Plots 19, 20 and 21.

5.18 Artistic interest: This element of interest will be entirely preserved by the proposal.

5.19 Archaeological interest: Due to the relatively recent development of built form in the site and this part of the conservation area (see Section 3), there is no above ground archaeological interest that will be affected by the proposed scheme.

Effect on views and setting of the Conservation Area

5.20 Elevation sections of the Proposed Development prepared by CDP are included at **Appendix 3**. These indicate the likely effect on long range views from Valley Road (section C-C) and The Street (section A-A). The analysis undertaken in **Appendix 2** demonstrates that there would be no wider impact on the landscape setting of the conservation area, which lies wholly within the Kent Downs AONB. Furthermore, the Proposed Development would result in an enhancement of the identified views and, as noted above, views towards St John's Church from the south (*cf.* **Figure 26**) when compared to the existing in which extensive dilapidated agricultural buildings feature prominently as visual detractors.

5.21 In particular, the existing buildings and boundary treatment on the east side of the Site forms a hard edge to the frame of key views from the footpaths and fields to the south of Church Lane looking towards St John's Church. The Site also forms an adverse framing element to the right of reciprocal south facing views from the churchyard (southern part). Section A-A indicates that the Proposed Development would result in an appreciable enhancement of both sets of views by virtue of a softer, more diffuse edge and incremental built form interspersed with gaps for increased permeability and new planting.

5.22 More generally, permeability through the Site would be much improved through the removal of the extensive slab-like structures which impede views through the site. The housing layout introduces copious gaps between the new built form that reflects the density and sense of openness within the village.

5.23 In terms of seasonal change, existing mature trees to the north part of the Site are to be retained. These introduce significant screening of the development from the village to the north and churchyard during the growing season, as well as to the west from Valley Road (Section C-C). Elsewhere new planting to peripheries and retained vegetation to the west boundary will soften the appearance of the new housing. The new development will be more prominent in a winter context but still less prominent than the existing buildings.

5.24 In terms of skyline and silhouette, the new housing is generally of a lesser height and prominence than the existing buildings. New built form is characterised by lower roof ridges and chimney stacks, deferential to the architecture of the village and reinforcing its varied domestic character.

Summary of Effects

5.25 The effect of the proposal on the conservation area's significance would be positive, resulting in a modest but appreciable enhancement of its significance. Accordingly, there is preservation for the purpose of the decision maker's duty under Section 72(1) of the Act. The significance of Barham Conservation Area would be sustained in compliance with Section 197 of the NPPF. Paragraphs 201-202 of the NPPF would not be engaged and the proposed scheme is compliant with local policy relating to the historic environment. The scale of harm table included in **Appendix 1** does not apply.

Effect on the Heritage Values of Listed or Locally Listed Buildings

5.26 As noted above, the effect of the proposed development on the modern day domestic curtilage arrangement and setting of Barham Court Farm Barn would be significant and beneficial, resulting in a notable enhancement of the building's immediate environment. The demolition of the existing buildings within the Site would remove unsightly and visually incoherent structures which presently detract from the setting of the Barn. These would be replaced by smaller scale housing which, in the case of Plots 19, 20 and 21, is modelled on or references traditional agricultural building types, materials and detailing. The architectural response is sympathetic to the historic character of the farmstead. The plots neighbouring the listed building (19, 20 and 21) will read in harmony with the heritage asset and result in an enhancement of its principal setting.

5.27 Plot 1 of the development would be prominent in relation to views from Church Lane / The Street and the design for this unit is commensurate with the simple Georgian character of Tirril, being all in red brick, symmetrically treated, of three bays with diminutive dormer windows to the tiled roof.

5.28 Insofar as the setting of the Barham Court Farm Barn would be enhanced, the setting of the remaining listed / locally listed buildings co-visible along Church Lane

and The Street group (including St John's Church and Tirril) described in Section 4 would also be enhanced.

5.29 Based on the proposed layout and scale of new development within the area of the Site that currently includes the largest of the former farm buildings (the southern half), the effect of the new development on the setting of St John's Church, in terms of longer range views from the south and south facing views from the churchyard, would be notably beneficial. A detailed GPA3 compliant assessment of impact is provided in **Appendix 2** in relation to both listed buildings.

5.30 On the basis of a positive, enhancing effect on the significance of Barham Court Farm Barn, St John's Church and associated group, there would be no erosion of their significance or respective heritage values. These would be sustained in compliance with paragraph 197 of the NPPF. Accordingly, Paragraphs 201-203 of the NPPF are not engaged and there would be preservation for the purpose of the decision maker's duty under Section 66(1) of the Act.

Summary of effects on Heritage Significance

5.31 In summary the proposed scheme would not harm any heritage assets. Paragraphs 202 and 203 of the NPPF are not engaged. There is no harm for the purposes of paragraphs 199-200 of the NPPF or for the exercise of the statutory duty under Sections 66(1) and 72(1) of the Act. There would be no conflict with any local or regional policies relating to built heritage.

6. Conclusions

- 6.1** The application Site lies wholly within Barham Conservation Area but does not otherwise include any identified heritage assets, designated or otherwise.
- 6.2** It is proposed to demolish the existing redundant farm buildings and associated infrastructure and construct 22 new houses comprising a mixed residential scheme (Use Class C3) with associated access roads, landscaping, and boundary structures. The scheme is illustrated in **Appendix 3**.
- 6.3** The new development will introduce high quality, bespoke new housing that responds intelligently to the heritage sensitivities of the Site and its wider environs. The new development will be expressed in a range of traditional materials that will contribute positively to the street scene of Church Lane / The Street without detracting from the setting or significance of Barham Court Farm Barn, Church of St John the Baptist, nearby listed and locally listed buildings, or the special character and appearance of the Barham Conservation Area.
- 6.4** The significance of Barham Conservation Area will be preserved as outlined above, for the purpose of the decision maker's duty under Section 72(1) of the 1990 Act. There will be no harm to any designated heritage assets (including listed buildings) or locally listed buildings and paragraphs 201-203 of the NPPF are not engaged.
- 6.5** Furthermore, the use of high-quality materials and locally relevant design and hard and soft landscaping will reinforce the positive visual impact of the new development within the Barham Conservation Area and in relation to views from the surrounding countryside towards the village. This will ensure the long-term effect of the new housing is consistent with the NPPF's primary objective of achieving sustainable development.
- 6.6** Paragraph 206 of the NPPF recommends that *'Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.'* In this case, the proposed development would

preserve the setting of Barham Court Farm Barn, St John's Church, nearby listed buildings and the character and appearance of the Barham Conservation Area in compliance with paragraph 206.

- 6.7** The proposed development complies with all local and regional policies relating to the historic environment. The Council is invited to consider the proposals favourably in compliance with paragraph 206 of the NPPF.

Appendix 1

Scale of Harm (HCUK, 2019)

The table below has been worked up by HCUK Group (2019) based on current policy and guidance. It is intended as simple and effect way to better define harm and the implications of that finding on heritage significance. It draws on various recent appeal decisions and reflects the increasing importance being put on the contribution of setting to significance and the need to create a greater level of clarity within the finding of less than substantial harm (see the NPPF, paragraphs 200-202). This has been proving more and more necessary and the table below goes some way to reflect the most recent updates (2019) to the guidance set out within the NPPG⁹

Scale of Harm	
Total Loss	Total removal of the significance of the designated heritage asset.
Substantial Harm	Serious harm that would drain away or vitiate the significance of the designated heritage asset
Less than Substantial Harm	High level harm that could be serious, but not so serious as to vitiate or drain away the significance of the designated heritage asset.
	Medium level harm, not necessarily serious to the significance of the designated heritage asset, but enough to be described as significant, noticeable, or material.
	Low level harm that does not seriously affect the significance of the designated heritage asset.

HCUK Group, 2019

⁹ See NPPG 2019. Section: 'How can the possibility of harm to a heritage asset be assessed?'. Paragraph 3, under this heading notes that '*within each category of harm (which category applies should be explicitly identified), the extent of the harm may vary and should be clearly articulated.*'

Appendix 2

Assessment - Historic England's Guidance on Setting, (GPA3, 2017)

In assessing the effect of the proposed development on the setting and significance of designated heritage assets, it is relevant to consider how the following factors may or may not take effect, with particular reference to the considerations in Steps 2 and 3 of GPA3. The following analysis seeks to highlight the main relevant considerations.

<i>Relevant Considerations</i>	Church of St John the Baptist
<i>Proximity of the development to the asset</i>	The Site is located 40m south west of the listed building.
<i>Proximity in relation to topography and watercourses</i>	The ground slopes gently to the west down to the Nail Bourne Valley but is approximately level in terms of the Site and Churchyard around the listed building.
<i>Position of development in relation to key views</i>	The Site occupies a prominent position to the west of significant north facing views from the footpaths and fields to the south of Church Lane looking towards St John's Church. The existing buildings and boundary treatment on the east side of the Site forms a hard edge to the frame of this key view. Views southwards and west from the churchyard (southern part) are reciprocal with the Site forming a largely adverse framing element to the right of these views. The Proposed Development would result in an appreciable enhancement of both sets of views by virtue of a softer diffuse edge and incremental built form interspersed with gaps for increased permeability and new planting.
<i>Orientation of the development</i>	The Proposed Development is aligned to address the surrounding street network and landscape (See Sections in Appendix 3) and the setting of the Church, notably Plot 1, which provides a measured architectural response to Tirril and the Churchyard group around St John's.
<i>Prominence, dominance, and conspicuousness</i>	The Proposed Development would be of a lesser prominence than the existing Site buildings and with more sympathetic boundary treatment and planting that will benefit the key views

	<p>noted above. The architectural character of the houses and material finishes are diverse and also complementary to the village of Barham. This approach is deferential in terms of the landmark character of the grade I listed church which is a building of ashlar stone with flint and distinctive copper cladding to the spire. The building's dominance and pre-eminence would thus be preserved.</p>
<i>Competition with or distraction from the asset</i>	<p>The Proposed development would be a significantly lesser distraction from the listed building than the existing buildings within the Site. This would enhance the Church's setting. The diffuse massing of the new housing, in contrast to the slab-like / monolithic character of the existing buildings, interspersed with new planting would restore and reinforce the pre-eminence of the church building within this part of the village / conservation area.</p>
<i>Dimensions, scale, massing, proportions</i>	<p>See Section 5 for details</p>
<i>Visual permeability</i>	<p>Permeability through the Site would be much improved through the removal of the extensive slab-like structures which impede any views through the site. The housing layout introduces copious gaps between the new built form that reflects the density and sense of openness within the village.</p>
<i>Materials and design</i>	<p>See Section 5 for details</p>
<i>Diurnal or seasonal change</i>	<p>Existing mature trees to the north part of the Site are to be retained. These introduce significant screening of the development from the village to the north and churchyard during the growing season. Elsewhere new planting to peripheries and retained vegetation to the west boundary will soften the appearance of the new housing. The new development will be more prominent in a winter context but still less prominent than the existing buildings.</p>
<i>Change to built surroundings and spaces</i>	<p>New built form within the Site would not increase density compared to the existing structures. However, the proposed layout, massing and detailing would reinforce the character of the adjacent housing to the north of the Site.</p>

Change to skyline, silhouette

The new housing is of a lesser height and prominence than the existing buildings. Skylines and silhouettes would be characterised by lower roof ridges and chimney stacks, deferential to the listed building and reinforcing domestic character.

Relevant Considerations**Barham Court Farm Barn**

<i>Proximity of the development to the asset</i>	The listed building is situated immediately adjacent to the north edge of the site.
<i>Proximity in relation to topography and watercourses</i>	The ground slopes gently to the west down to the Nail Bourne Valley and rises to the south east of the listed building within the Site where there is an area of mature tree cover.
<i>Position of development in relation to key views</i>	The Site forms the backdrop to views of the listed building from the north side, which is the principal frontage to the old farmyard and from the approach from The Street. The latter affords glimpse views of the Site to the left of the listed building which has a tall hipped roof. Good open views of the listed building from within the Site to the south. The proposed development would preserve and enhance these views by virtue of the positioning and design of the neighbouring new houses to the south of the heritage asset (see designs for Plots 19, 20 and 21 in Appendix 3).
<i>Orientation of the development</i>	The development is oriented parallel or perpendicular to the listed building, forming an arrangement that corresponds to a traditional farmyard layout and configuration of similarly scaled agricultural ranges.
<i>Prominence, dominance, and conspicuousness</i>	The new housing would appear as complementary built form expressed in traditional materials, of a similar height and scale but diminishing with perspective in views from the north. Views from the south would be maintained and channelled towards the listed building by virtue of the new housing which echoes the footprint of the existing L-shaped agricultural range and later farmyard buildings. The dominance of the listed building from the original farmyard area would not be challenged, and the historic character of the surroundings would be reinforced on account of the high quality and well considered design approach.
<i>Competition with or distraction from the asset</i>	The new houses at plots 19, 20 and 21 are those which would be most prominent in the setting or co-visible with the listed building. The design response for these houses is suitably demure and complementary in terms of scale, materials, style and detailing and would not result in any competition with or

	distraction from the asset. The remaining new housing would be concealed by these neighbouring plots or retained tree cover to the south east.
<i>Dimensions, scale, massing, proportions</i>	See above re prominence, dominance and conspicuousness.
<i>Visual permeability</i>	Permeability through the Site would be much improved through the removal of the extensive slab-like structures which impede views through the site. The housing layout introduces copious gaps between the new built form that reflects the density and sense of openness within the village.
<i>Materials and design</i>	See section 5 for details
<i>Diurnal or seasonal change</i>	Existing mature trees to the north part of the Site are to be retained. These introduce significant screening of the development from the village to the north and churchyard during the growing season. Elsewhere new planting to peripheries and retained vegetation to the west boundary will soften the appearance of the new housing. The new development will be more prominent in a winter context but still less prominent than the existing buildings.
<i>Change to built surroundings and spaces</i>	New built form within the Site would not increase density compared to the existing structures. However, layout, massing and detailing would reinforce the character of the adjacent housing to the north of the Site.
<i>Change to skyline, silhouette</i>	The new housing is generally of a lesser height and prominence than the existing buildings, although of an increased scale at the northern end of the complex. Skylines and silhouettes would be characterised by traditional roof ridges and occasional chimney stacks, reflecting the change in character from agricultural to residential. The skyline and silhouette is deferential to the listed building. Furthermore, Plots 19, 20 and 21 nearest to the listed building would reinforce its agricultural character and setting.

Appendix 3

Proposed Scheme Details (CDP Architecture Ltd)



Existing Site Plan



Proposed Site Plan



Proposed Site plan (detail)



Site Section A-A



Site Section B-B



Site Section C-C



Site Section D-D

Site Sections



Front Elevation



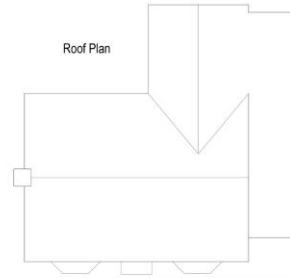
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Rear Elevation



Side Elevation

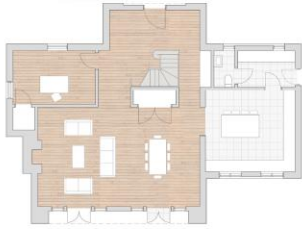
Design Details for Plot 1



Front Elevation



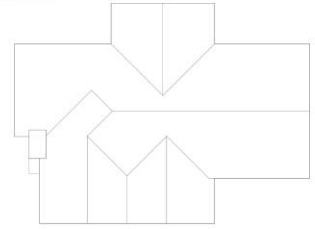
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Rear Elevation



Side Elevation

Design Details for Plot 19



Front Elevation



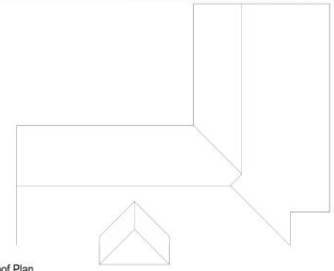
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Rear Elevation



Side Elevation

Design Details for Plot 20



Front Elevation



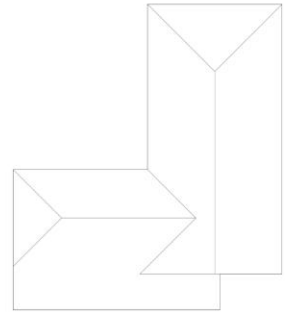
Side Elevation



Ground Floor Plan



First Floor Plan



Roof Plan



Rear Elevation



Side Elevation

Design details for Plot 21

Standard Sources

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<https://historicengland.org.uk/listing/the-list>

www.heritagegateway.org.uk

<http://magic.defra.gov.uk>

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The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3 (Second Edition). Historic England (2017 edition)

Planning (Listed Buildings and Conservation Areas) Act, 1990

National Planning Policy Framework, 2019

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Conservation Principles, Policies and Guidance, Historic England (2008)